

Bankers Court | Building Specifications

General Description

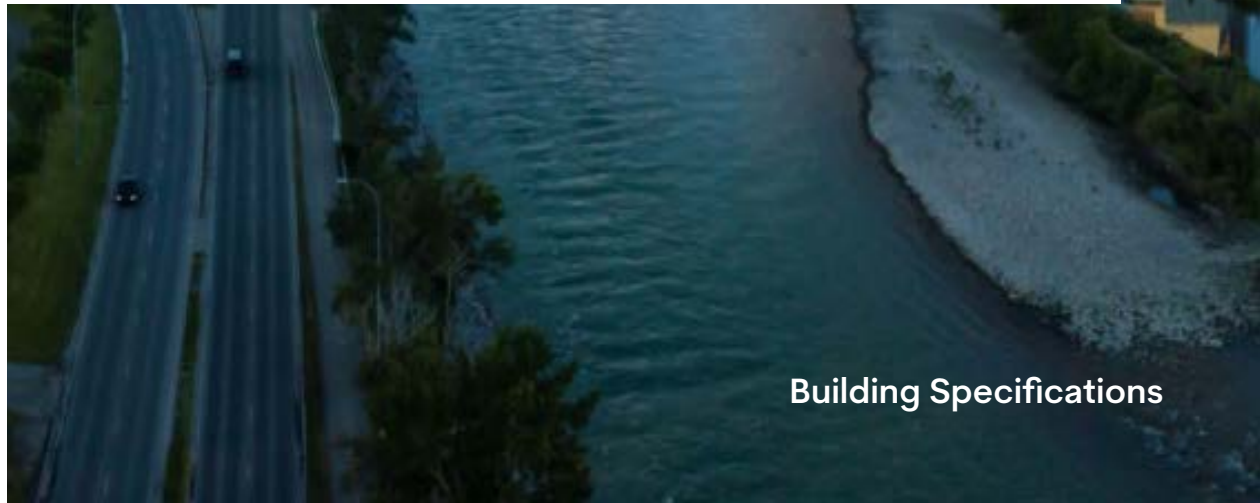
The architectural expression of Bankers Court compliments the adjacent Bankers Hall Complex. A definitive roofline provides a unique signature for Bankers Court on the Calgary skyline. A two-storey, fully glazed lobby and a double height arcade contribute to an appropriate pedestrian environment along 9th Avenue SW with an at grade public exterior space connecting the existing Bankers Hall complex with Bankers Court. Exterior building finishes include a granite and glass curtain wall, exterior coloured concrete paving surfaces, landscape elements, and a public art installation.

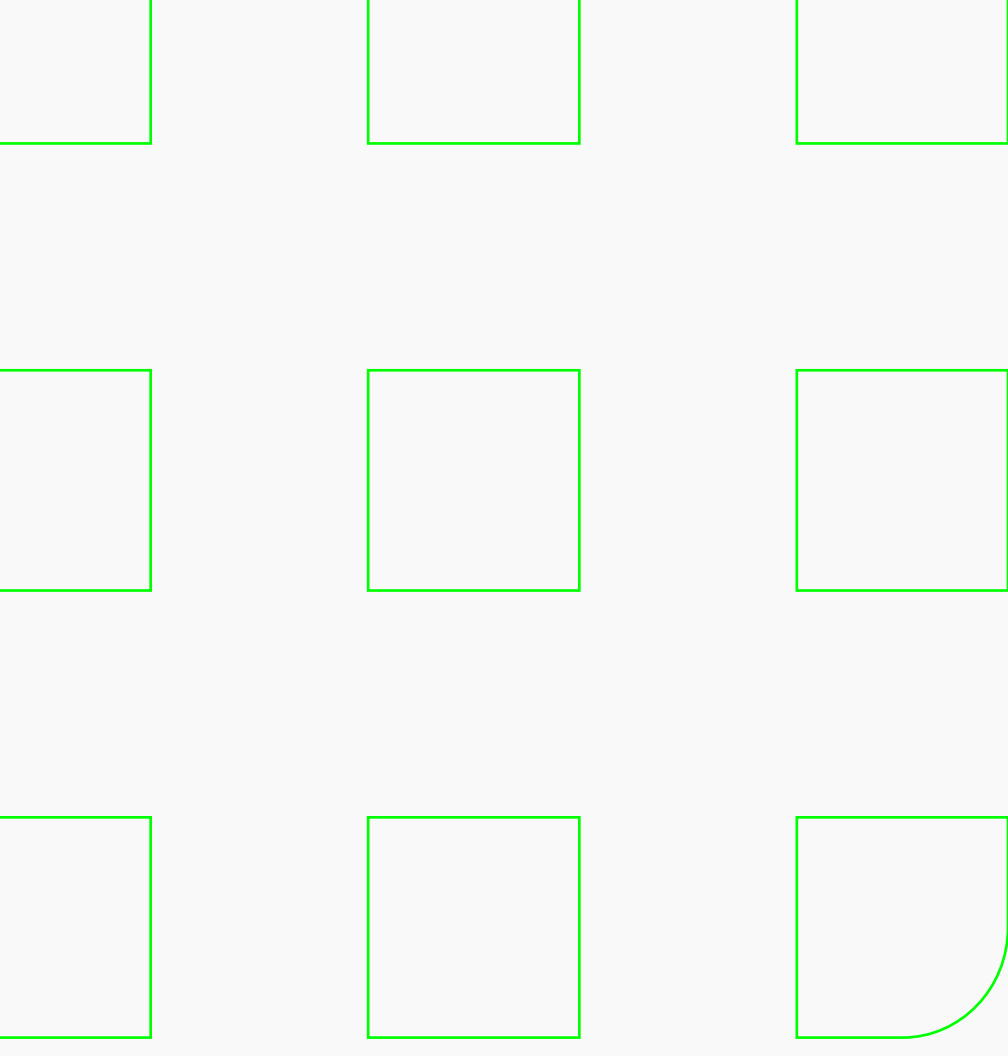
Each of the interior office floors has high ceilings, unobstructed spans, and ample light penetration to allow for flexible and efficient interior layouts, thereby minimizing common corridor and lobby areas. Parking for the building is below grade on four levels providing 178 underground parking stalls.



Design Architect	Cohos Evamy
General Contractor	EllisDon
Mechanical Engineer	Emans Smith Andersen
Structural Engineer	Read Jones Christoffersen
Completion Date	March 1st, 2009
Building Height	16 stories
Design Load	Office Floors Perimeter Live Load 2.4 kN/m ² Office Floors Perimeter Superimposed Dead Load 1.5 kN/m ² Office Floors Sides of Cores Live Loads 4.8 kN/m ² Office Floors Sides of Cores Superimposed Dead Loads 0.5 kN/m ² Office Floors Ends of Cores Live Loads 7.2 kN/m ² Office Floors Ends of Cores Superimposed Dead Loads 0.5 kN/m ² Superimposed Dead Loads are non-structural dead loads due to architectural toppings, finishes, partitions, roofing materials, pavers, soil, etc.
Rentable Area	Approximately 256,694 SF Office Approximately 7,760 SF Retail
Typical Floor Area	Approximately 21,700 SF
Ceiling Heights	Slab-to-slab heights on office floors average 8'-9"
Mullion Spacing	5 feet
Interior Column Spacing	Generally every 20 feet.
Heating, Ventilation and Air Conditioning	Industry standards are met or exceeded. Air changes – minimum of 4 per hour per floor. Fresh air – minimum of 0.15 cfm/sq ft. for the total floor area.
Design Criteria	The building's HVAC systems are designed to meet or exceed ASHRAE requirements.

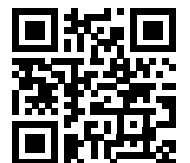
Heat	Heat is supplied by boilers located in the penthouse mechanical room. Boilers are natural gas fired, forced draft, condensing type, hot water.
Air Conditioning	Cooling is provided by mechanical chillers located in the mechanical penthouse. Sophisticated automation systems control the interior and perimeter air handling units to conserve energy and optimize indoor air quality.
Standard Hours of HVAC Operation	7:00 AM to 17:00 PM, Monday through Friday Supplemental HVAC is available 24 hours a day
Electricity	Building-standard power consists of 6 watts per usable square foot, connected load, provided by TransAlta. Additional power is available based upon demonstrated need.
Electric Closet	1 per floor
Telephone Closet	1 per floor
Number of Passenger Elevators	8 elevators: Retail and Parking - 2 Tower - 6
Passenger Elevator Capacity	3,500 lbs. depending on elevator bank
Passenger Elevator Speed	500 – 800 FPM (ft. per minute), depending on bank
Number of Service Elevators	1
Service Elevator Capacity	3,500 lbs. – 4,500 lbs.





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